

**Valley Road
Northallerton
DL6 1SH**



Immaculately presented 2 Bedroom Semi-Detached Bungalow situated within Walking Distance of the Town Centre. Quality fitted Bathroom and Kitchen, Detached Garage Low maintenance Gardens to the Rear and Front of the Property.

- Detached Garage
- Solar Panels
- Security System
- Air Conditioning
- UPVC Double Glazing
- Front & Rear Garden
- Bungalow
- Oak Internal Doors
- Car Port
- Stylish & Modern Interior

Offers In The Region Of £205,000

Entrance Hall

6 x 3.6

Tiled floor, ceiling light spots, twinned door to useful store cupboard. Oak door through to:

Kitchen

8.11 x 8.8

Continuation of tiled flooring, attractive light beech fronted range of base and wall cupboards. Granite effect wall surfaces. Inset four ring gas Bosch hob. Brushed steel and glass electric Bosch double oven and grill beneath. Single bowl sink unit with drainer, quality mixer tap over. Space and plumbing for washing machine. Space for fridge. Attracted tiled splash backs. Unit matched extractor fan. Inset ceiling light spots. Double radiator, double glazed door giving access to the driveway.



Living Room

16.11 x 9.9

Attractive laid wood flooring. Coved ceiling with inset ceiling light spots. The room enjoys a bay window to front. Double radiator, TV, Satellite and Phone point. Ambience ceiling lighting. BT open reach master socket. Door to rear leads into



Inner Hallway

5.9 x 2.7

Inset ceiling light spots, attic access and useful shelved linen cupboard.

Bedroom 1

9.8 x 12.1

Fitted bedroom furniture comprising two double wardrobes with internal chest of drawers, hanging rails and shelf storage with lighting. Over bed store cupboards and over bed lighting. Fitted bedside shelving. USB charger sockets. Coved ceiling with inset ceiling light spots. Inset speakers, wall mounted full height contemporary radiator. Electric wall mounted air conditioning unit. Wall mounted TV & Internet socket. Nice views out onto rear garden.

Bedroom 2

9.8 x 8

Laminate flooring, twin French doors out to rear patio and gardens. Wall mounted full height contemporary radiator. Electric wall mounted air conditioning unit. Wall mounted TV & Internet socket. Coved ceiling with inset ceiling light spots.



Front Garden

Block paving with a central chipping area and small hedged boundary to the front of the property.

Rear Garden

Indian Stone Paving, Astro Turf and Sleeper Plant Borders.

Garage

17.4 x 8.3

Electric door to front. Double glazed window to the side. Concrete base with eaves storage. Light & power. Wired for a sound system. Solar energy convertor pack.

External Covered Area

7.11 x 8.1

Stone flooring with wooden slated roof. Enjoys the benefit of electric and lighting. Solar Panels covering this and the garage.

External Office at Rear of Garage

6.7 x 7.4

Inset ceiling light spots, fitted light tubes. Work bench, telephone point, power point with USB charger point. Wall mounted Dimplex heater.

GENERAL REMARKS & STIPULATIONS

VIEWING

By appointment through Northallerton Estate Agency - tel. no. 01609 - 771959.

TENURE

Freehold

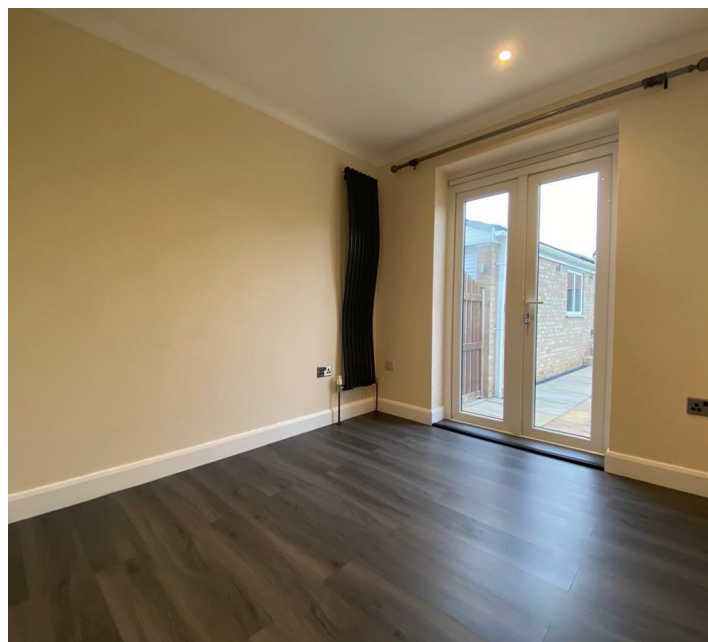
SERVICES

Mains Water, Electricity, Gas and Drainage.

COUNCIL TAX BAND

North Yorkshire Council Tax Band is B.

EPC RATING - D





GROUND FLOOR
790 sq.ft. (73.4 sq.m.) approx.



VALLEY ROAD NORTHALLERTON
TOTAL FLOOR AREA: 790 sq.ft. (73.4 sq.m.) approx.
While every attempt has been made to ensure the accuracy of the floorplan contained herein, measurements of floors, ceilings, rooms and any other parts are approximate and no responsibility is taken for any error. The floorplan is not intended to be a contract and should not be relied upon for any purpose. The services, systems and appliances shown have not been tested and no guarantee is given for their operation or efficiency. See page 10 for further information.

COMMITMENT

Northallerton Estate Agency does not seek to avoid our criminal and civil liabilities by the use of cleverly worded small print. Our staff have undergone training and follow set procedures, but it is not possible for us to guarantee that everything written in our sales particulars is accurate. Please note that unless stated otherwise:

- These particulars have been prepared in all good faith to give a fair and overall view of the property. If any points are particularly relevant to your interest in the property, then please ask for further information/verification
 - These particulars are set out as a general outline only for the guidance for intending purchasers and do not constitute, nor constitute a part of, an offer or Contract.
 - All descriptions, dimensions, measurements, distances referred to, are given as a guide only and are NOT precise. If such details are fundamental to purchase, purchasers must rely on their own enquiries. All statements do not constitute any warranty or representation by the Vendor or his/her Agents.
 - We have NOT been instructed to carry out a physical survey of the property, a structural survey nor to test any of the services, fixtures, fittings or appliances which pass through, in, on, over, under or attached to the property (whether or not referred to in these particulars). Any equipment appliance or service mentioned, has not been tested by us, nor is it the subject of any guarantee.
 - Any plans may not be to scale and are for identification purposes only.
 - Items included in the written text are included in the sale. All others are excluded regardless of their inclusion of any photograph.
 - You should place no reliance on anything stated verbally by any of our staff unless the matter is confirmed by us in writing. If any issue (included or not in these particulars) is of major importance to your interest in this property, please ask us for further information.
- In the event of any grievance, via our in-house complaints procedure we will consider why we may not have given you the high standards you have a right to expect from us. Should you then still be dissatisfied, we will advise you of the options of mediation, arbitration or civil action which you may pursue your complaint.